

# Brooklyn Park

## DECKS GUIDE

### Community Development Department Building Inspections Division

5200 85th Avenue North  
Brooklyn Park, MN 55443

Phone: (763) 488-6379

[www.brooklynpark.org](http://www.brooklynpark.org)

If you need this information in another language or format or disability accommodations, email [access@brooklynpark.org](mailto:access@brooklynpark.org) or call **763-424-8000**

Si usted necesita esta información en español: **763-424-8000**

Yog xav tau kev pab, thov hu rau **763-424-8000** lawv mam li nrhiav ib tus neeg txhais lus rau koj

This guide is not intended nor shall be considered to cover all requirements of the Minnesota State Building Code or city ordinances.

### PERMITS

Building permits are required for the construction of a deck, or the modification of an existing deck. Note: Decks not attached to a structure and are 30 inches or less above grade do not require a permit. However, decks exempt from a permit still need to meet zoning and building code requirements.



[APPLY FOR A PERMIT](#)

### CONSTRUCTION DOCUMENTS REQUIRED

#### Plans drawn to scale shall include:

##### 1. Floor plan

- Deck dimensions (width and length).
- Footing type, diameter, locations, spacing and depth.
- Beam sizes, type, quantity, and locations.
- Post sizes, type, quantity, and locations.
- Floor joist type, size, spacing and orientation, (e.g., 12", 16" inches on center).
- Location of stairs (if applicable).

##### 2. Cross section/elevations:

- Height of deck from grade.
- Decking material, size, and type.
- Guardrail type, brand, height and spacing of intermediate rails.

##### 3. Ledger board attachment

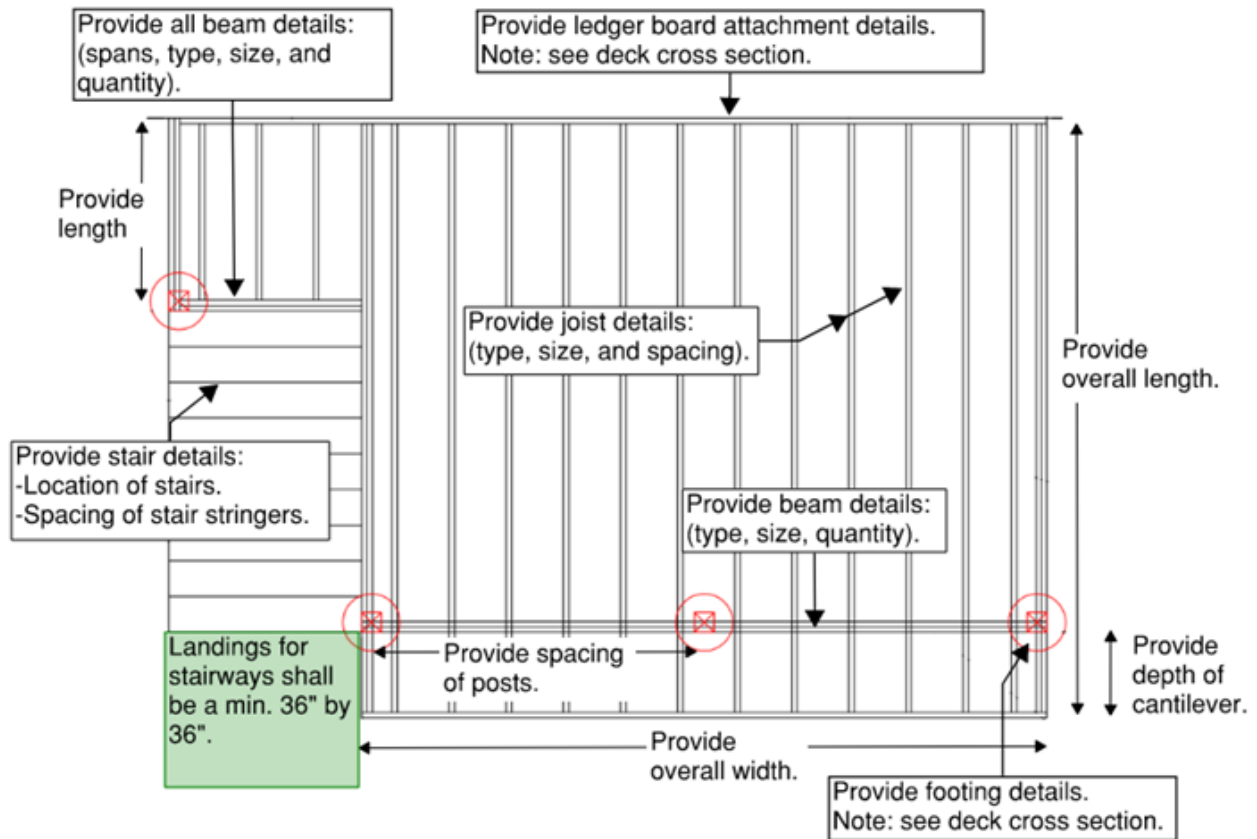
- Flashing detail.
- Fastener type, length, size and spacing.
- Ledger board height.
- Type of floor system where ledger will be attached to: (dimensional lumber, I-joist, or open web-floor trusses).

##### 4. Site plan/survey shall include:

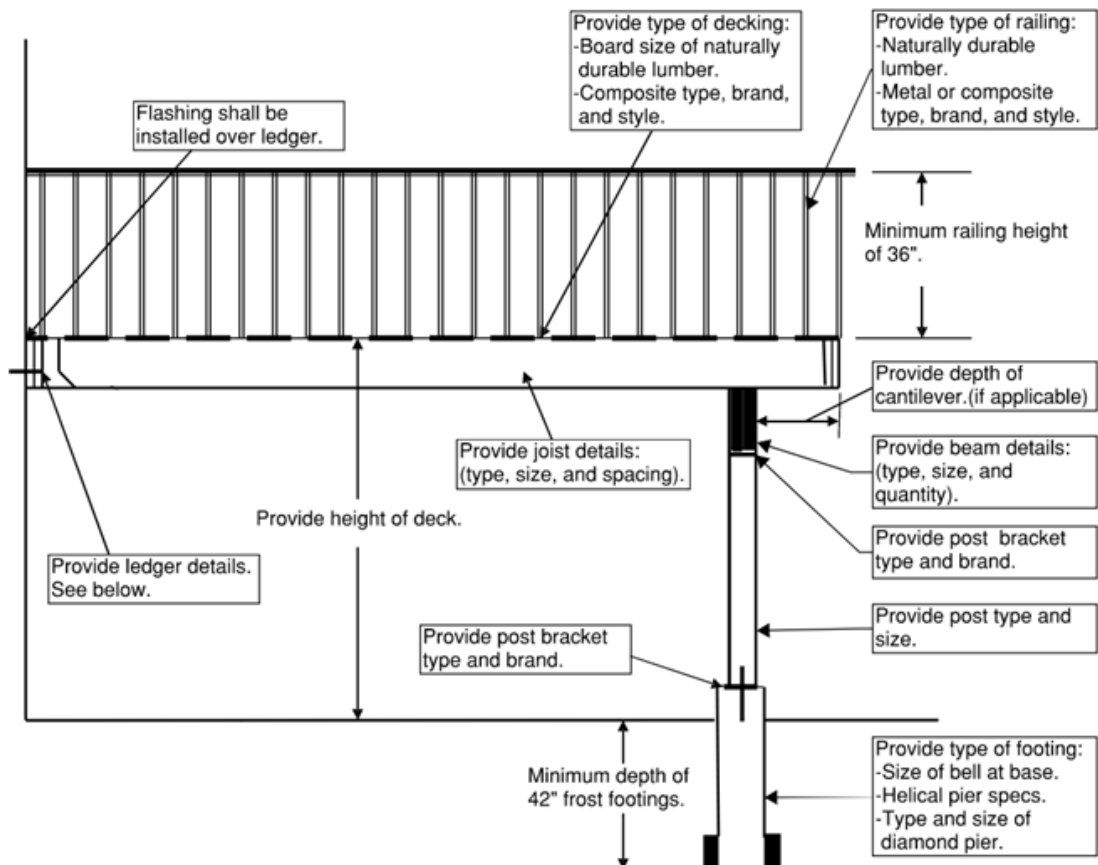
- Lot dimensions, property lines, distance from property lines for existing structures and dimensions of proposed deck on the property.
- You will need to upload the site plan or survey with your plans.

*NOTE: We may have a survey on file for your home, email us at [permits@brooklynpark.org](mailto:permits@brooklynpark.org) to inquire.*

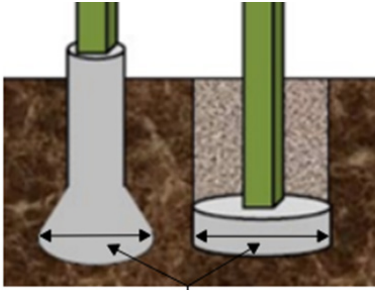
## SAMPLE DECK FLOOR PLAN



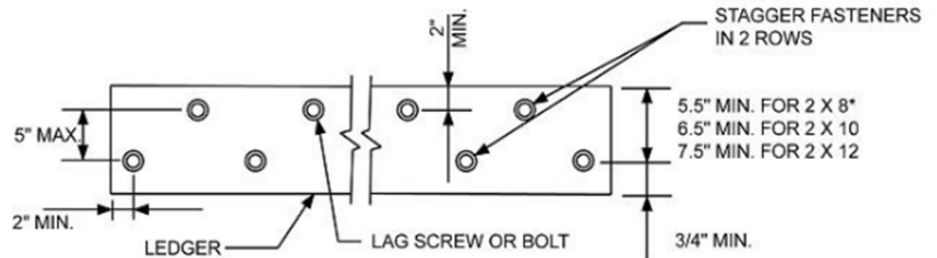
## SAMPLE CROSS SECTION / ELEVATIONS



## SAMPLE LEDGER DETAILS



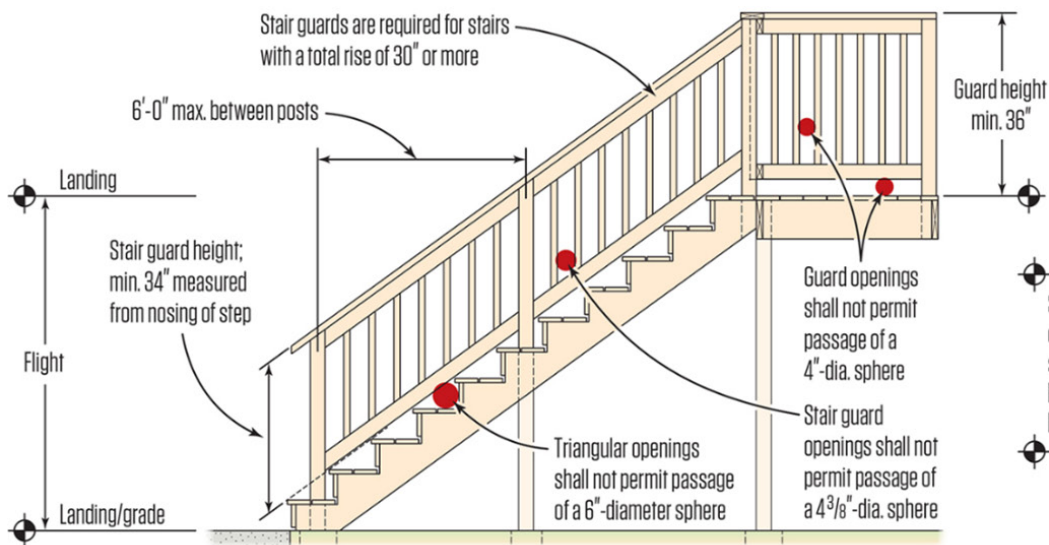
Bell of footing shall be sized accordingly to support deck loads.



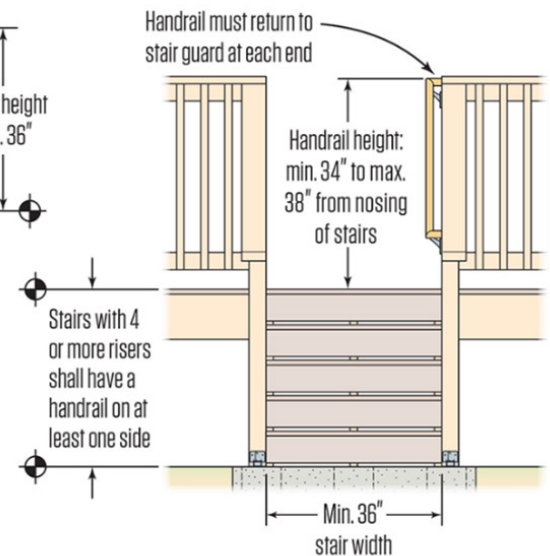
Provide ledger details:

- Ledger type and size.
- Fastener type, size, and spacing.
- Type of floor system where ledger will be attached to: (dimensional lumber, I-joist, or open web-floor trusses).

### Stair Guard Requirements

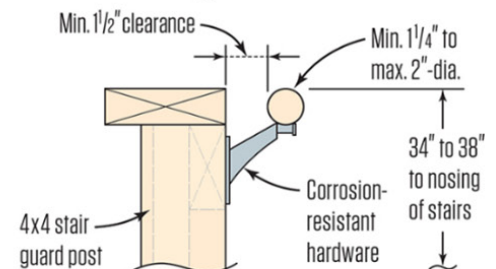


### Handrail Requirements

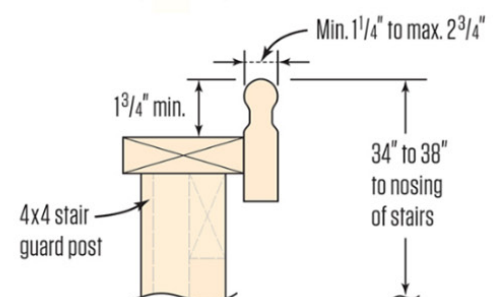


### Handrail Mounting

#### Type I Handrail



#### Type II Handrail



## THINGS TO CONSIDER WHEN DRAWING/PLANNING YOUR DECKS:

- Plastic composite deck boards, stair treads, and railing systems have specific installation requirements. Each shall be installed per manufacturer installation instructions and follow ASTM D7032 or provide evaluation report.
- Deck ledgers attached to homes built with open-web floor trusses require additional modifications, see additional resources below for attachment options.

## REQUIRED INSPECTIONS

1. **Footings**
  - a. Pier footings - shall be inspected after holes are dug but prior to the placement of concrete.
  - b. Diamond Pier footings - shall be inspected with all caps removed for the inspector.
  - c. Helical Pier footings (see general notes section below for requirements).
2. **Framing** - Deck and stair framing shall be inspected before installing any decking, trims and fascia, or any items that conceal the view of the framing. *Note: access to the interior of home may be required to verifying house floor system.*
3. **Building final** - Shall be inspected after footings, ledger board, and framing have been approved.



[REQUEST AN INSPECTION](#)

## GENERAL NOTES

- Helical Piers required documentation:
- Provide the following information at plan review:
- Name of installer and brand name of helical pier.
- Technical data report of proposed piers for the specific project. The report shall show the size, depth, and load calculations.
- Torque report must be submitted to the building inspector PRIOR to the final inspection being passed. The torque report must be signed by a certified installer.
- Decks must meet the land use and setback requirements of the zoning code. Zoning questions should be directed to the Planning Division (763) 493-8056.
- If you build or alter the deck in a way that does not follow the city approved plan after the permit has been issued, revised plans shall be submitted electronically to the city for review. Your project cannot proceed until the revised plans have been approved.

### Additional Resources and Related Documents

- 2020 Minnesota Residential Code
- AWC- Deck construction guide
- Residential decks and the 2020 MN residential code